



**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING**

MONDAY MARCH 27, 2017 — 4:00 P.M.
1520 MARKET ST. #2000, ST. LOUIS, MO. 63103
www.stlouis-mo.gov/cultural-resources

Approval of the February 27, 2017 Minutes — Approval of the current Board Agenda

PRELIMINARY REVIEWS:	Jurisdiction:	Project:	Page:
A. 6211 DELMAR BOULEVARD	Central West End HD	Construct three-story corner commercial building.	1
B. 44 MARYLAND PLAZA.....	Central West End HD	Façade alterations to two-story commercial building	8
C. 5034 WASHINGTON PLACE	Central West End HD	Construct seven, three-story..... attached townhouses	14
D. 5872 MINERVA AVENUE/..... HEMPSTEAD SCHOOL	National Register of Historic Places	Demolish school building to construct senior living facility	20
E. 1959 LYNCH STREET	Benton Park Historic Dist.....	Construct single family house and street-facing 2-car garage.	28
F. 2217-21 SOUTH 10 TH STREET	Soulard Historic District.....	Rehabilitation of historic building and construct addition.	36
G. 1116 MISSOURI AVENUE.....	Lafayette Square HD.....	Construct 64 attached townhouses on 4-acre vacant lot.	43
H. 2339-45 RUTGER STREET	Lafayette Square HD.....	Construct two 2-family townhouses.....	54
APPEAL OF STAFF DENIAL:	Jurisdiction:	Project:	Page:
I. 4545 MARYLAND AVENUE	Central West End HD	Replace existing slate roof with architectural shingles	64



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

A.

DATE: March 27, 2017
ADDRESS: 6201-6219 Delmar Boulevard
ITEM: Preliminary Review of new three-story commercial building
JURISDICTION: Skinker-Debaliviere Certified Local Historic District — Ward 28
STAFF: Daniel Krasnoff, Cultural Resources Office Director



PROPOSED 6201-19 DELMAR BOULEVARD SITE

OWNER/APPLICANT:
 Pace Properties
 Steven F. Heitz

RECOMMENDATION:
 That the Preservation Board grants preliminary approval to the proposed design with the stipulation that final plans and exterior materials are reviewed and approved by the Cultural Resources Office.



THE PROPOSAL

The applicant proposes to build a three-story commercial building with ground floor storefront and offices above, and parking behind the building. The site currently is occupied by a service station and convenience store, non-contributing resources in the Skinker-Debaliviere-Catlin Tract Local Historic District. This district includes commercial buildings on both sides of Skinker between Hodiament and Eastgate, and the south side of Skinker east to Laurel. In the historic district, Skinker is lined with historic one- to three-story historic buildings. One recently constructed building, the Moonrise Hotel, rises to seven stories. A new 14-story apartment building, at 6105-23 Delmar, was recently approved by the Preservation Board and is currently under construction.

RELEVANT LEGISLATION:

Excerpt from Ordinance #57688, the Skinker-DeBaliviere Historic District Rehabilitation and New Construction Standards:

RESIDENTIAL APPEARANCE STANDARDS

1. Use: A building or premises shall be used only for the uses permitted in the zoning district within which the building or premises is located; The Historic District Review Committee must be notified of any proposed zoning changes within the Historic District. Use of property in Parkview and in the Catlin Tract, private subdivisions, shall additionally be governed by restrictions specified in their Trust Indentures and other legal agreements.

The property is zoned "F", Neighborhood Commercial.

2. Structures: New Construction or alterations to existing structures. All designs for new construction or for major alterations to the front of the house or premises that require a building permit must be approved by the Landmarks and Urban Design Commission, as well as by the existing approving agencies as required by City Ordinances. Standards that do not require building permits serve as guidelines within the district.

- a. Height:

New buildings or altered existing buildings, including all appurtenances, must be constructed to within 15% of the average height of existing buildings on the block.

The 3-story building is a story taller than the historic commercial buildings immediately adjacent to its west. However, there is a variety of building heights along Delmar: the 4-story Southwestern Bell building, directly opposite; and another 3-story building and the 7-story Moonrise Hotel on the block to the east.

- b. Location, Spacing and Setback:

New or moved structures shall be positioned on their lots so that any existing rhythm of recurrent building masses to spaces is continued. Existing building lines shall be strictly maintained, with no portion of any building (excepting any open porch, open veranda, open stone platform, or open balcony) to be constructed beyond the existing building line. Aforesaid open porches or platforms shall not extend beyond the existing front porch line on the block. Existing front porches must remain porches; however, they may be screened.

Complies. The building maintains the building lines along both Delmar and Skinker.

- c. Exterior materials (for permit required work):
Exterior materials when visible from the street should be of the type originally used when the proposed Historic District area was developed: brick, stone, stucco, wood, and wrought and cast iron. Although artificial siding or facing materials are not, in general, compatible, the Historic District Review Committee may be consulted for a list of current, compatible materials and their costs, for use by property owners wishing to improve their buildings.

Complies. Brick is proposed for the majority of the exterior of the building, including its side and rear elevations. At the first story, pilasters of stone veneer flank the contemporary metal storefronts

- d. Details (for permit required work):
Architectural details on existing structures, such as columns, pediments, dormers, porches, and bay windows should be maintained in their original form if at all possible. Renovations involving structural changes to window or door openings are permit required work and thus must be reviewed by the Landmarks and Urban Design Commission. Design of these renovations should be compatible in scale, materials, and color with existing features of the building and with adjacent historical structures. When on the front of a building, wood or factory-finished colored metal is the preferred material for frames of new and replacement storm windows and screens and storm and screen doors. Awnings on the front of a house should be canvas or canvas-type materials.

New buildings should be detailed so as to be compatible with existing buildings, respecting scale, rhythm, window proportions, important cornice lines, use of materials, etc. Complete plans for all proposed new construction or major alterations which require permits must be submitted to the Landmarks and Urban Design Commission for approval.

Mostly complies. The articulation of the building breaks it visually into vertical bays and other elements that are of comparable scale and rhythm to those on historic buildings. Individual window opening proportions are comparable. The larger glazed section at the corner is the only deviation and contributes to visually reduce the building's scale.

- e. Roof Shapes:
When there is a strong, dominant roof shape in a block, proposed new construction or alteration should be viewed with respect to its compatibility with existing buildings.

Complies. The proposed flat roofs edged with parapets and slightly varied in height meet the standard and complement the design. Flat roofs are common on the commercial buildings lining Delmar.

- f. Roof Materials:
Roof materials should be slate, tile, copper, or asphalt shingles where the roof is visible from the street. Incompatible materials are not encouraged. Design of skylights or solar panels, where prominently visible from the street and when requiring a permit, will be reviewed by the Landmarks and Urban Design Commission for their visual compatibility.

Complies.

g. Walls, Fences and Enclosures:

Front – In Parkview, no fence, wall, or hedge may be erected in front of the building line. In the Catlin Tract, no wall or fence may be erected in front of the building line; no hedge in front of the building line may exceed four feet in height. Elsewhere in the district, front yard dividers or enclosures are permitted, but they shall be of brick, stone, brick-faced concrete, ornamental iron, or hedge and should not exceed four feet in height. Earth-retaining walls are permitted, to be constructed of compatible materials, not to exceed maximum grade of the lot. In Parkview, earth-retaining walls must not exceed a height of two feet above the highest point of the sidewalk in front of the property.

Side – Fences or walls on or behind the building line, when prominently visible from the street, should be of wood, stone, brick, brick-faced concrete, ornamental iron, or dark painted chain link. All side fences shall be limited to six feet in height. In the Catlin Tract, all fences behind the front building line must be limited to five feet.

Not applicable.

h. Landscaping:

The installation of street trees is encouraged. In front of new buildings, street trees may be required. Front lawn hedges shall not exceed four feet in height along the public sidewalk. No live trees shall be removed for new construction without the approval of the Landmarks and Urban Design Commission. The Historic District Review Committee will keep a directory of recommended landscape materials.

Not applicable.

i. Paving and Ground Cover Materials:

Where there is a predominant use of a particular ground cover (such as grass) or paving material, any new or added material should be compatible with the streetscape, and must not cause maintenance problems or hazards for public walkways (sidewalks). Loose rock and asphalt are not acceptable for public walkways (sidewalks) nor for ground cover in areas bordering public walkways (sidewalks).

Undetermined.

j. Street Furniture and Utilities:

All free-standing light standards placed in the front yard of any structure or premises should be compatible with construction in the neighborhood. The design and location of all items of street furniture located on the tree lawn between the sidewalk and the street must be approved by the Landmarks and Urban Design Commission. Where possible, all new utility lines shall be underground. No commercial or political advertising may occur on the public right-of-way.

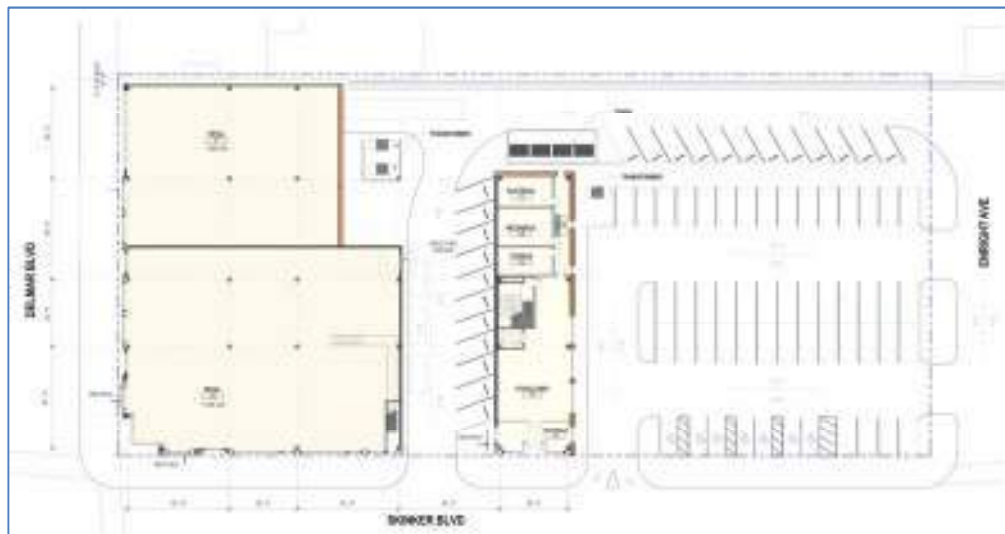
Undetermined.

PRELIMINARY FINDINGS AND CONCLUSION:

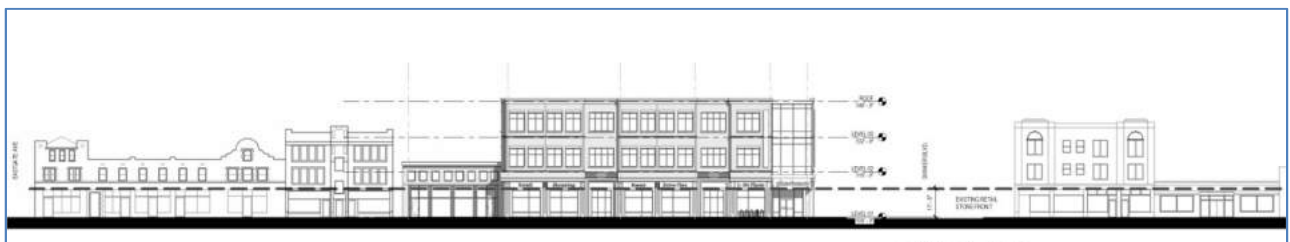
The Cultural Resources Office's consideration of the Skinker-DeBaliviere Historic District standards for new construction led to these preliminary findings.

- 6201-19 Delmar is located in the Skinker-DeBaliviere Local Historic District.
- The new building will have a major first-floor tenant and office space above.
- The building, proposed to be 3 stories tall, will be taller than many of the historic commercial buildings to its west; however, there exists a variety of building heights in this area of Delmar, including a 3-story building and a 7-story hotel directly east as well as a 4-story building opposite the building site.
- Scale, an important consideration in the historic district standards, is addressed by the complex massing of the building into vertical bays, some recessed, so that the Delmar façade appears to be a series of connected structures rather than one large building.
- The proposed building meets the standards for siting; roof shape and materials; and exterior materials.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the design with the stipulation that final plans and exterior materials are reviewed and approved by the Cultural Resources Office.



SITE PLAN



DELMAR STREETSCAPE WITH PROPOSED BUILDING



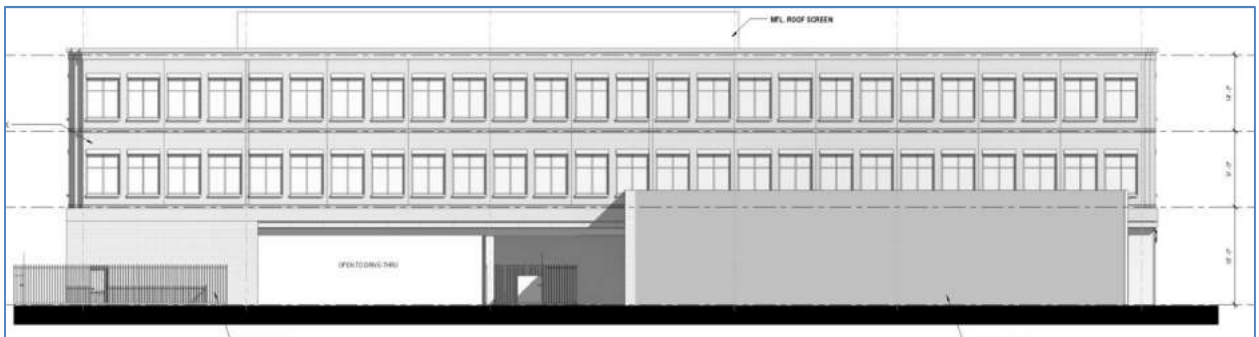
DELMAR FACADE



SKINKER FACADE



WEST FACADE



REAR ELEVATION



DELMAR LOOKING NORTHEAST TOWARD SKINKER AND 7-STORY MOONRISE HOTEL



SKINKER LOOKING SOUTHWEST TO DELMAR AND 4-STORY SOUTHWESTERN BELL BUILDING



B.

DATE: March 27, 2017
ADDRESS: 44 Maryland Plaza
ITEM: Preliminary Review of Revised Storefront Alterations
JURISDICTION: Central West End Certified Local Historic District — Ward 28
STAFF: Dan Krasnoff, Cultural Resources Office



44 MARYLAND PLAZA

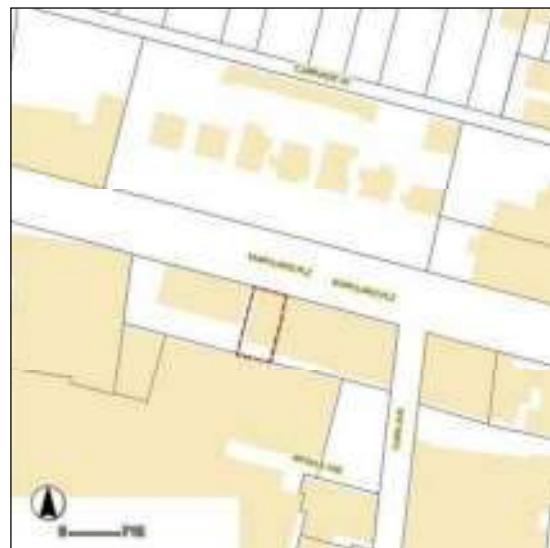
OWNER/ APPLICANT :

Koplar Properties/Sam Koplar

RECOMMENDATION:

The owner/applicant desires to attract a new national retailer to the high-style district on Maryland Plaza in the CWE. Historically, stores with cachet, such as Saks Fifth Avenue and Montaldo’s were located on Maryland Plaza. The area is again attractive to such retailers.

The CWE standards seek to retain historic storefronts. The proposal for Suit Supply has been revised since the February meeting. The new design retains modified bulkheads, and “grills” (reversible) on upper windows that are more transparent. Muntins in first-story openings remain, but are also reversible. Preliminary approval is recommended for storefront alterations with staff consultation regarding final design details.



THE PROPOSAL

This is the second submission by the same applicant before the Board for the redesign of the storefront at 44 Maryland Plaza. At the March, 2017 Preservation Board meeting, the previous Preliminary Review Proposal failed to gain Board support. Revisions have been made to the previous proposal.

44 Maryland Plaza is the centerpiece of three commercial buildings that established a high-style shopping area on the south side of Maryland Plaza in the mid-1930s. The flanking three-story buildings have ornate upper facades of brick and terra cotta that establish an Art Deco vocabulary of simplified forms overlaid with stylized geometric motifs. As a counterpoint, the centerpiece of the design, 44 Maryland Plaza, expresses a Streamline Modern design with black Carrera glass laid in uniform panels and simple punched openings.

The Maryland Plaza shopping district has evolved over time since its heyday during the 1930s through the 1950s. While the area lost luster during the 1960s, it has seen increased reinvestment over the past forty years. Maryland Plaza has once again become a high-end shopping destination and is attracting more high-end retailers, such as Suit Supply.

The applicant has revised the proposal in response to concerns expressed at the February Preservation Board meeting. The current proposal is to update the storefront in the following manner:

- **Remove the existing Vitrolite glass bulkheads and install new, lower (1 ft.) black stone bulkheads (The previous proposal removed the bulkheads entirely)**
- **Install sliding “grills” at the second story with greater gaps between the grills, increasing transparency. The “grills” are removable and will not damage the original construction. (“Grills” in the previous proposal were stationary and more narrow, obscuring the original openings to a greater degree).**
- **Raise the height of the entry door opening to equal the height of the flanking display windows (No change from February proposal)**
- **Install a new front door (No change from February proposal)**
- **Install muntins in the shop window openings that flank the entry (No change from February proposal)**

RELEVANT LEGISLATION:

Excerpt from Ordinance #61177, the Central West End Historic District:

I. INTRODUCTION

Alterations and new construction which create a false sense of historical development, such as adding conjectural features or inappropriate decorative elements, shall not be undertaken.

Partly complies. The current proposal will retain the separations between the entry and flanking shop windows. However, it still raises the height of the door and lowers the shop window, installing a 12-inch black granite bulkhead instead.

The “grills” are not supported by the ordinance. However, the new proposal increases the visibility of the window openings by increasing the transparency of the “grills”. The new proposal has “grills” on sliding metal runners that extend across the façade. These will be adjustable to interact with display boxes behind the second story windows.

IV. COMMERCIAL BUILDING DESIGN STANDARDS

REPAIRS AND REHABILITATION TO HISTORIC COMMERCIAL BUILDINGS

Addition or removal of decorative elements, e.g., window pediments, bracketed hoods over doors, door surrounds, etc. normally is prohibited unless replacement would return the building to its original design. Proposed exceptions shall be subject to review for design suitability and approval by the Cultural Resources Office staff.

Does not comply because the changes do not return the storefront to its original configuration.

9) Storefronts

The area of the first floor historically enclosed with a storefront shall not be expanded or reduced. When original and historic storefront fabric is present, it shall be retained and restored or rehabilitated.

Does not comply. New modifications are less intrusive than the previous proposal. Still, the storefront is altered and not restored.

PRELIMINARY FINDINGS & CONCLUSION:

The Cultural Resources Office consideration of the Central West End District standards and the specific criteria for storefront alterations led to these preliminary findings.

- 44 Maryland Plaza is a contributing resource to the Central West End Local Historic District.
- The proposed alterations would change the historic appearance of the building.
- Some storefront alterations will be reversible, others not. The revised design for movable shutters at the second story would leave no permanent impact upon the historic glass façade.
- The opportunity to attract high-end retailers with cache, such as Suit Supply, is important for the continued evolution of the Central West End as a high end retail destination.

Based on these preliminary findings, the Cultural Resources Office recommends preliminary approval for storefront alterations with staff consultation regarding final design details.



MARYLAND PLAZA FACADE



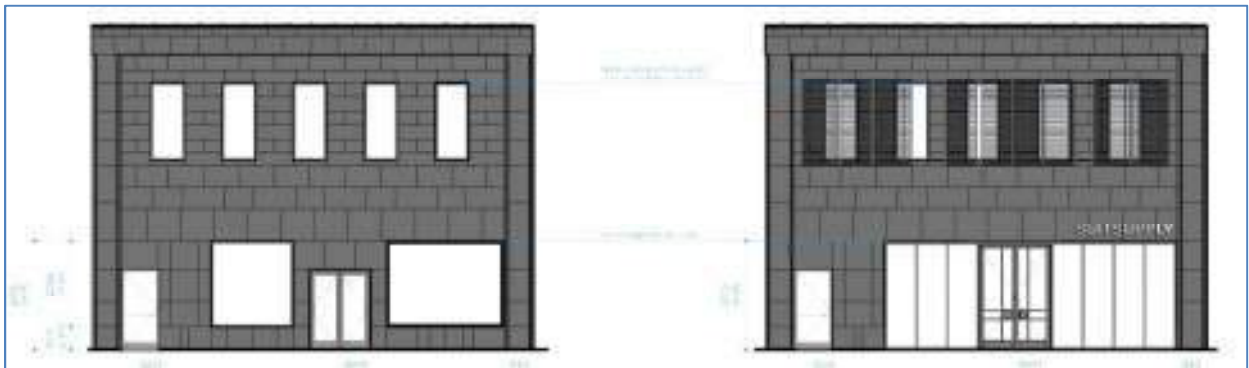
DETAIL OF EXISTING ENTRY



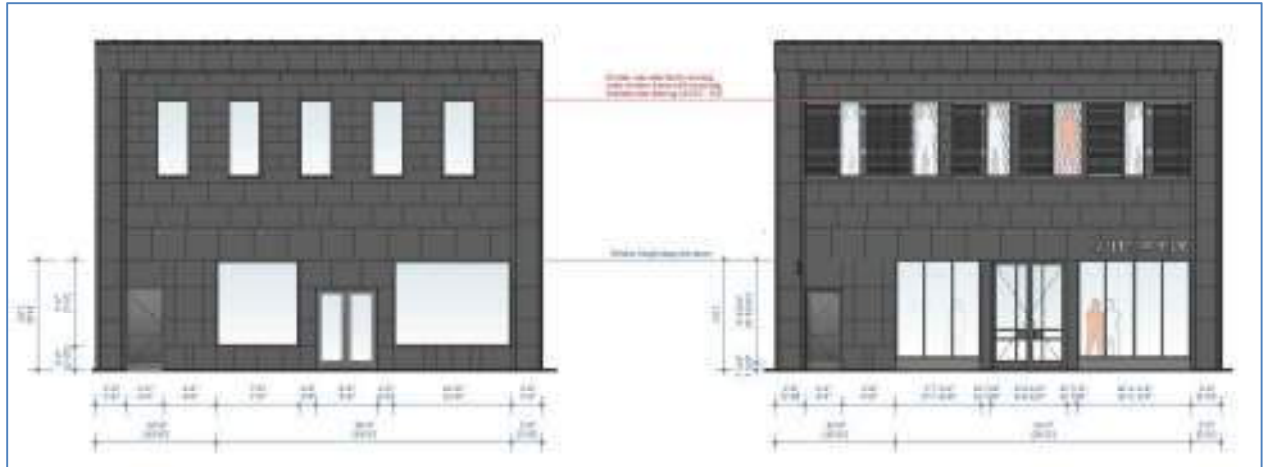
44 MARYLAND PLAZA FLANKED BY BOOKEND BUILDINGS



RENDERING OF REVISED PROPOSAL



COMPARISON OF EXISTING TO ORIGINAL PROPOSAL



COMPARISON OF EXISTING TO REVISED PROPOSAL





C.

DATE: March 27, 2017
ADDRESS: 5034 Washington Place
ITEM: Preliminary Review: Construct 7-unit, 3-story townhouse building
JURISDICTION: Central West End Local Historic District — Ward 28
STAFF: Jan Cameron, Cultural Resources Office

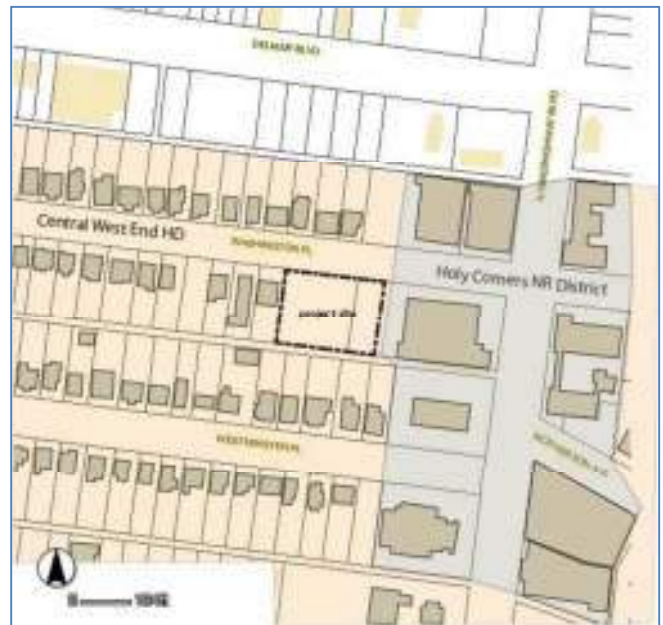


5034 WASHINGTON PLACE

OWNER:
 5000 Washington Blvd. Development LLC

APPLICANT:
 Killeen Studios/Michael Killeen

RECOMMENDATION:
 That the Preservation Board withhold preliminary approval of the proposed design as it does not comply with the Central West End Historic District Standards.



THE PROPOSAL:

The applicant proposes to construct seven three-story attached townhouses on a portion of the current parking lot behind St. John's Methodist Church building in the Holy Corners City Landmark District. The townhouses will extend west of the existing cul-de-sac into Washington Place.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69423, Central West End Historic District:

New Construction or Additions to Existing Residential or Institutional Buildings

When designing a new residential or institutional building, the height, scale, mass, and materials of the existing buildings and the context of the immediate surroundings shall be strongly considered....

A. Height, Scale and Mass

A new low-rise building, including all appurtenances, must be constructed within 15 percent of the average height of existing low-rise buildings that form the block-face. Floor levels, water tables and foundation levels shall appear to be at the same level as those of neighboring buildings. When one roof shape is employed in a predominance of existing buildings in the streetscape, any proposed new construction or alteration shall follow the same roof design.

Partly complies. The height of the proposed building is generally consistent with other buildings on Washington Place. Floor heights will also be similar. But the massing of the new building does not comply; the building is substantially wider than the detached houses of Washington Place and the individual units much narrower.

B. Location

A new or relocated structure shall be positioned on its respective lot so that the width of the façade and the distance between buildings shall be within 10 percent of such measurements for a majority of the existing structures on the block face to ensure that any existing rhythm of recurrent building masses to spaces is maintained. The established setback from the street shall also be strictly maintained. Garages and other accessory buildings, as well as parking pads, must be sited to the rear of, and if at all possible, directly behind the main building on the lot.

Complies partially. The width of the building façade is far greater than any other structure on Washington Place and does not continue the rhythm of the street. However, the proposed building's setback from the adjacent building to the west is within the 10 percent requirement and the front setback is maintained.

C. Exterior Materials

In the historic district, brick and stone masonry and stucco are dominant, with terra cotta, wood and metal used for trim and other architectural features. Exterior materials on new construction shall conform to established uses. For example, roof materials shall be slate, tile, copper or architectural composite shingles where the roof is visible from public or common areas.

All new building materials shall be the same as the dominant materials of adjacent buildings. Artificial masonry is not permitted, except that cast stone that replicates sandstone or limestone is allowed when laid up in the same manner as natural stone. Cementitious or other paintable

siding of appropriate dimension is an acceptable substitute for wood clapboards. A submission of samples of all building materials, including mortar, shall be required prior to approval.

The pointing of mortar joints on masonry additions to historic buildings shall match that on the original building in color, texture, composition and joint profile.

Complies. The proposal indicates that the building will be sheathed in brick with a stone foundation; color of brick has not been selected.

D. Fenestration

New buildings and building additions shall be designed with window openings on all elevations visible from the street. Windows on the front façade shall be of the same proportions and operation as windows in adjacent buildings and their total area should be within 10% of the window area of the majority of buildings on the block.

Does not comply. While windows in the proposed design are generally similar in proportion to historic windows, the percentage of glazing on the front elevations is substantially greater than that of adjacent buildings.

E. Decks

Given the urban context of the neighborhood, the relative narrowness of building lots, and the general interests of privacy, terraces or patios at grade are preferable to elevated decks. When it is desired to construct a deck, such construction shall be at the rear of the residence. Where visible from the street, design and construction shall be compatible with the building to which it is appended, and the deck shall be constructed of finished materials, be of a shape and scale similar to that of an historic porch or patio, and be partially screened with landscaping or opaque fencing to limit visibility.

Complies.

F. Accessory Buildings

A new accessory building, including a garage, shall be designed and constructed in a manner that is complementary in quality and character with the primary structure and neighboring buildings. Complementary structures are appropriate in scale and use a similar type and quality of materials. Design details from the main building should not be replicated, but such details may be modified and reduced in scale to express the same architectural presence in a simpler way. When not visible, materials other than those of the primary building may be used for exterior walls.

Complies.

G. Curb Cuts and Driveways

Where curb cuts for vehicles and driveways did not exist historically, new ones shall not be introduced. Curb cuts for pedestrians at street intersections, mid-block crossings, passenger drop-off and loading zones, and similar locations shall be allowed. Where a parcel is not served by alley access, proposed exceptions shall be considered on a case-by-case basis and evaluated for design suitability.

No new curb cuts are proposed; however, an existing curb cut will be reused for a new driveway leading to the basement parking garage. A large retaining wall will be constructed below grade but visible from the sidewalk. Its material has not been specified.

PRELIMINARY FINDINGS & CONCLUSION:

The Cultural Resources Office's consideration of the Central West End Historic District standards for New Construction or Additions to Existing Residential or Institutional Buildings led to these preliminary findings.

- 5034 Washington Place is located in the Central West End Local Historic District.
- The Central West End Standards for New Construction require that new buildings replicate the siting, massing, scale, street rhythm and exterior materials of adjacent buildings.
- The proposal is to construct a large building consisting of 7 attached townhouses. While the building is similar in height, floor levels and in the use of brick as the predominate façade material, its scale and proportions are incompatible with the historic detached buildings of Washington Place.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board withhold preliminary approval of the proposed design as it does not comply with the Central West End Local Historic District standards.



PROPOSED SITE PLAN



**STREET ELEVATION, SOUTH SIDE OF WASHINGTON PLACE
WITH PROPOSED DEVELOPMENT**



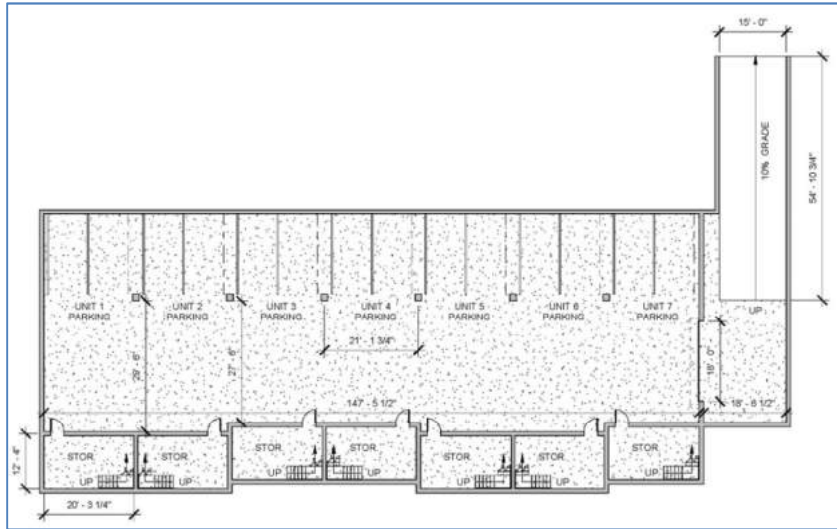
PERSPECTIVE LOOKING EAST SHOWING PROPOSED BUILDING IN CONTEXT WITH ADJACENT HOUSE



PERSPECTIVE LOOKING SOUTHWEST ALONG WASHINGTON PLACE



PERSPECTIVE LOOKING WEST SHOWING PROPOSED BUILDING IN CONTEXT WITH ADJACENT HISTORIC CHURCH BUILDING



PARKING PLAN



PERSPECTIVE SHOWING PARKING ENTRANCE



D.

DATE: March 27, 2017
ADDRESSES: 5872 Minerva Ave.
ITEM: Demolition of the Hempstead School
JURISDICTION: Listed on the National Register of Historic Places, Ward 22
Staff: Dan Krasnoff, Cultural Resources Office



HEMPSTEAD SCHOOL– PRIMARY FACADE

APPLICANT:
Patricia Moncrief - Applicant

OWNER:
St. Louis School Board - Owner

RECOMMENDATION:
That the Preservation Board grant preliminary approval of the demolition of the building for the construction of an independent living facility for seniors, subject to:

- Granting of a building permit for the project;
- Documentation of approved financing for the new development



THE PROJECT:

The St. Louis School Board proposes to sell the Hempstead School building to the applicant who will construct a three-story independent-living, senior housing facility. The Hempstead School was listed on the National Register of Historic Places in 1990. It was designed by William Ittner in 1906 and opened in 1907. The building was last used as a school in 2009. A lightning strike in 2014 caused a fire that severely damaged the roof at the building's eastern end. In addition, the building's interior has been compromised significantly by weather and vandalism.

RELEVANT LEGISLATION:

The property at 5872 Minerva Avenue is listed on the National Register and therefore is subject to the Preservation Review District ordinance.

St. Louis City Ordinance #64689

PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT. Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register...the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

St. Louis City Ordinance #64832

SECTION ONE. Preservation Review Districts are hereby established for the areas of the City of St. Louis described in Exhibit A.

SECTION FIVE. Demolition permit - Board decision.

All demolition permit application reviews pursuant to this chapter shall be made by the Director of the Office who shall either approve or disapprove of all such applications based upon the criteria of this ordinance. All appeals from the decision of the Director shall be made to the Preservation Board. Decisions of the Board or Office shall be in writing, shall be mailed to the applicant immediately upon completion and shall indicate the application by the Board or Office of the following criteria, which are listed in order of importance, as the basis for the decision:

A. Redevelopment Plans.

Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.

Not applicable.

B. Architectural Quality.

Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be approved by the Office.

Demolition of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.

The Hempstead School is a “High Merit” building.

C. Condition.

The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.

1. Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, four, six and seven indicates demolition is appropriate.

In terms of the ordinance, the structure is “Sound” because it is likely to remain standing for six months. However, a significant portion of the roof is gone and the weather has caused substantial deterioration of the building.

2. Structurally attached or groups of buildings.

Not applicable.

D. Neighborhood Effect and Reuse Potential.

1. Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.

The area surrounding the school has been evaluated as being ineligible for the National Register as a district due to the large number of demolitions. In addition, many buildings that surround the school are in a deteriorated state.

2. Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.

The condition of the structure is highly compromised. The applicant explored reuse of the building for her senior housing project but found it to be cost-prohibitive.

3. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.

N/A

E. Urban Design.

The Office shall evaluate the following urban design factors:

1. The effect of a proposed partial demolition on attached or row buildings.

Not applicable.

2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.

The school stands alone and does not contribute to the rhythm of adjacent structures.

3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.

The school occupies half of a city block. So, its loss will have a substantial visual impact.

4. The elimination of uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.

Not applicable.

F. Proposed Subsequent Construction.

Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition based upon whether:

1. The applicant has demonstrated site control by ownership or an option contract;

The applicant has an option to purchase the property.

2. The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face. Proposal for creation of vacant land by demolition(s) in question will be evaluated as to appropriateness on that particular site, within that specific block. Parking lots will be given favorable consideration when directly adjoining/abutting facilities require additional off-street parking;

The applicant proposes construction of a three-story independent-living, senior housing facility. It will not equal the aesthetic of the school. However, it is a project of substantial scale that would fill the “void” left by the demolished school.

3. The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;

The proposed building is largely faced in brick. This will allow it to relate to surrounding structures.

4. The proposed use complies with current zoning requirements;

No, the site is zoned B – Two Family District.

5. The proposed new construction would commence within twelve (12) months from the application date.

Yes.

G. Commonly Controlled Property.

If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.

Not applicable.

H. Accessory Structures. Accessory structures (garages, sheds, etc.) and ancillary structures will be processed for immediate resolution. Proposed demolition of frame garages or accessory structures internal to commercial or industrial sites will, in most cases, be approved unless that structure demonstrates high significance under the other criteria listed herein, which shall be expressly noted.

Not applicable.

PRELIMINARY FINDINGS AND CONCLUSIONS:

The Cultural Resources Office's consideration of the criteria for demolition led to these preliminary findings:

- The Hempstead School is individually listed on the National Register of Historic Places.
- It was constructed in 1906.
- It is a High Merit building.
- The school has been condemned by the Building Division.
- The building is sound, in terms of the Ordinance.
- The severe deterioration of the building in combination with its questionable reuse feasibility justifies approval of its demolition.
- A substantial independent senior housing facility is proposed in its place.
- The potential loss of the High Merit structure, though severely deteriorated, justifies the need for approval of financing and a construction permit application prior to demolition.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval of the demolition of the building for the construction of an independent living facility for seniors, with the conditions that:

- Granting of a building permit be applied for the project; and
- Documentation of approved financing for the new development be submitted to the Cultural Resources Office for review.



HEMPSTEAD SCHOOL – MAIN FAÇADE DETAIL



HEMPSTEAD SCHOOL – WEST AND SOUTH FACADES



HEMPSTEAD SCHOOL – SOUTH FAÇADE, EAST END



HEMPSTEAD SCHOOL – EAST FACADE



PROPOSED NEW CONSTRUCTION – PRIMARY ELEVATION



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**

Cultural Resources Department

E.

DATE: March 27, 2017
ADDRESS: 1959 Lynch Street
ITEM: Preliminary Review: construction of 2-story single-family & 2-car garage
JURISDICTION: Benton Park Local Historic District — Ward 9
STAFF: Jan Cameron, Cultural Resources Office

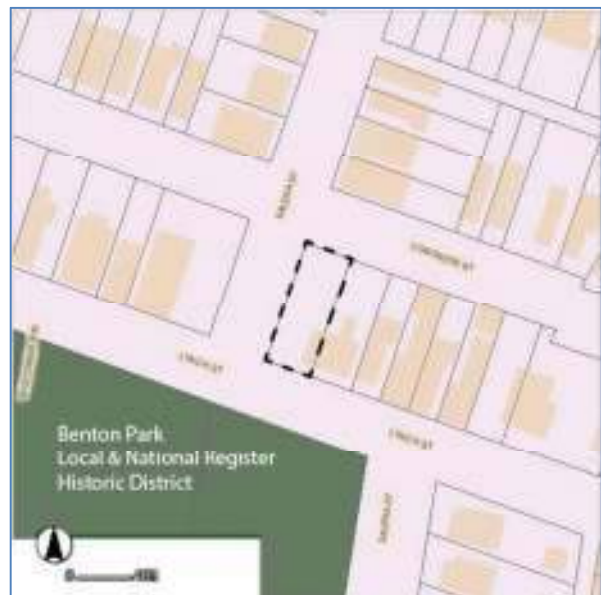


1959 LYNCH STREET

OWNER/DEVELOPER:
2300 Pestalozzi LLC

ARCHITECT:
Killeen Studio/Mike Killeen

STAFF RECOMMENDATION:
That the Preservation Board grant preliminary approval for the new construction, with the stipulation that final drawings, materials and colors be reviewed and approved by the Cultural Resources Office.



THE PROJECT

The applicant proposes to construct a detached single-family residence on a vacant corner parcel at the northeast corner of Lynch and Salena Streets. This particular block has no alley; the rear property lines face onto Congress Street on the north.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, Benton Park Historic District:

PART III

HISTORIC DISTRICT DESIGN STANDARDS

SECTION THREE. There are two basic concepts inherent in these Standards. They are embodied in the definitions of Public, Semi-Public, and Private facades and the requirement for Model Examples....

2. Making the submission of a Model Example a prerequisite to obtaining approval of plans to construct or reconstruct building elements or to construct new buildings has two important advantages. First, it ensures that building elements will be compatible with the building for which they are to be constructed and that new buildings will be appropriate in their architectural environment. Second, it enables those seeking such approval to clearly communicate their plans to the Commission.

Complies. A Model Example has been selected for both the new house and garage.

ARTICLE 1: DEFINITIONS

101.14 Model Example

Comment: Throughout these Standards, a Model Example is often required as a basis for comparison and as a source of ideas for reconstructed elements and for new construction.

1. A building or element(s) of a single building type or style constructed prior to 75 years ago:
 1. Existing or once existing within:
 1. the Benton Park Historic District; or
 2. The City of St. Louis, provided it is of a form and architectural style currently or once found within the Benton Park Historic District; and
 2. Offered to prove that:
 1. A design proposed for constructing or reconstructing a building will result in a building element compatible with the building for which it is to be constructed; or
 2. A design proposed for constructing a new building will result in a building compatible with its architectural environment; and
 3. Of a comparable form, architectural style and use as:
 1. The building to receive the constructed or reconstructed element; or
 2. The building to be constructed.

The applicant has presented a two-story commercial/residential building as a Model Example: the Cultural Resources Office has confirmed that it is an appropriate selection.

2. A Model Example shall be evidenced by a series of photographs or photographic reproductions...which shall include the following:

1. In the case of proposed construction or reconstruction...
2. In the case of proposed new construction:
 1. Photographs or photographic reproductions showing, in its entirety, the public façade and, where possible, each façade of the Model Example building; and
 2. Photographs, or photographic reproductions showing, in detail, special elements thereof, including, but not limited to windows, cornices and dormers.

Complies.

3. The Model Example concept is not intended to preclude contemporary designs but to assure that they are compatible with their environment.

The proposed building is a historic replica.

ARTICLE 3: NEW BUILDINGS

301 Public and Semi-Public Facades of New Construction

The Public and Semi-Public Facades of new construction shall be reviewed based on a Model Example taking into consideration the following:

301.1 Site

A site plan shall describe the following:

1. Alignment
 1. New buildings shall have their Public Facade parallel to the Public Facade of the adjacent buildings....

Complies. The Public Facades will face Lynch Street.

2. Setback

1. New buildings shall have the same setback as adjacent buildings....

Complies.

301.2 Mass

Mass is the visual displacement of space based on the building's height, width and depth. The mass of a new building shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.

Complies.

301.3 Scale

1. Scale is the perceived size of a building relative to adjacent structures and the perceived size of an element of a building relative to other architectural elements (e.g., the size of a door relative to a window).
2. A new building shall appear to be the same number of stories as other buildings within the block. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings....

Complies, with the exception of the heights of the second story windows, which appear to be larger than the Model Example, and uncharacteristic of second story windows on historic commercial buildings in the district in general.

301.4 Proportion

Proportion is a system of mathematical ratios which establish a consistent set of visual relationships between the parts of a building and to the building as a whole. The proportions of a new building shall be comparable to those of adjacent build buildings. If there are no buildings on the block then the proportions shall be comparable to those of adjacent blocks.

Complies.

301.5 Ratio of Solid to Void

1. The ratio of solid to void is the percentage of opening to solid wall. Openings include doors, windows and enclosed porches and vestibules.
2. The total area of windows and doors in the Public Facade of a new building shall be no less than 25% and no more than 33% of the total area of the facade.
3. The height of a window in the Public Facade shall be between twice and three times the width.
4. The ratio of solid to void may be based on a Model Example.

Complies.

301.6 Facade Material and Material Color

1. Finish materials shall be one of the following:

1. For walls:

1. Kiln-fired brick (2-1/3" by 8" by 3-5/8")

Comment: Brick within the Benton Park Historic District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove. Most brick within the Benton Park Historic District is red or orange with only minor variations in coloration.

2. Stone common to the Benton Park Historic District.
3. Scored stucco and sandstone.
4. 4" lap wood siding or vinyl siding which appears as 4" wood siding based on a Model Example.

Complies. Street-visible elevations will be brick. Portions of the rear ell and the rear (east) wall of the garage will be sided.

2. For foundations:

1. Stone, new or reused, which matches that used in the Benton Park Historic District;
2. Cast-in-place concrete with a stone veneer; or
3. Cast-in-place concrete, painted.

Complies.

2. Finished facade materials shall be their natural color or the color of the natural material which they replicate or if sandstone, painted. Limestone may be painted.

Complies.

3. Glazing shall be clear, uncolored glass or based on a Model Example.

Complies.

303 Garages and Carports in New Construction

Garages and carports are not regulated except as follows:

1. Garages and carports shall be set within 10' of the alley line.
2. Vehicular access shall only be from the alley.
3. Garage doors shall be parallel to, and face, the alley.
Cannot comply. This block has no alley; the rear property line is at Congress Street. The applicant has submitted a Model Example of a similarly-sited, street-facing historic garage.
4. Construction requirements per form:
 1. Garages shall be sided with 4" cover siding of wood, vinyl or finished aluminum, 4" beaded tongue and groove siding, brick or brick veneer. Unfinished siding is prohibited.
 2. Based on a Model Example.
5. Garage and carport roofs shall be as set forth in Section 201.
6. The mass and scale of garages and carports shall be appropriate for their use and shall not visually dominate the main building.

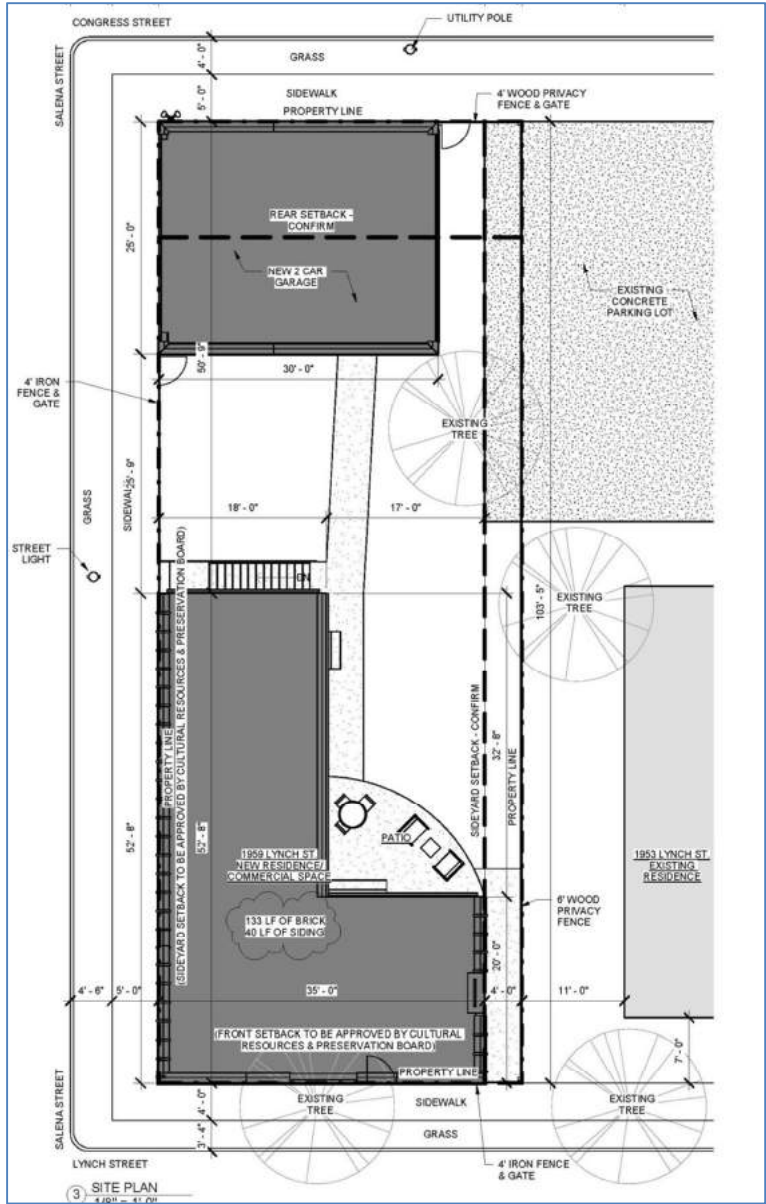
Complies with all requirements.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the criteria for new residential construction in the Benton Park Historic District Standards led to these preliminary findings:

- The proposed site for construction, 1959 Lynch Street, is located in the Benton Park Local Historic District.
- The proposed design for the new building follows an appropriate Model Example.
- As there is no alley, any required parking would necessitate a curb cut either on Salena or Congress.
- The two-car garage proposed at the corner of Salena and Congress Streets follows an appropriate Model Example.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval for the new construction, with the stipulation that the proportions of the upper story windows on the street facades be reconsidered, and final drawings, materials and colors be reviewed and approved by the Cultural Resources Office.



SITE PLAN



LYNCH STREETScape WITH PROPOSED BUILDING



PROPOSED BUILDING



MODEL EXAMPLE



FRONT ELEVATION



SALENA (WEST) ELEVATION



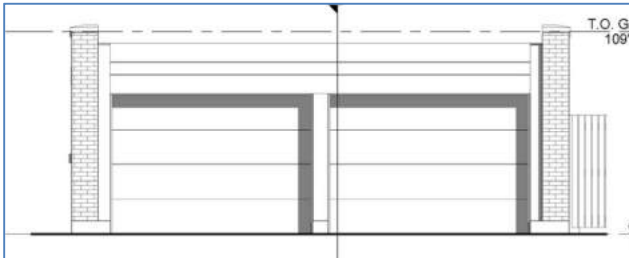
EAST ELEVATION



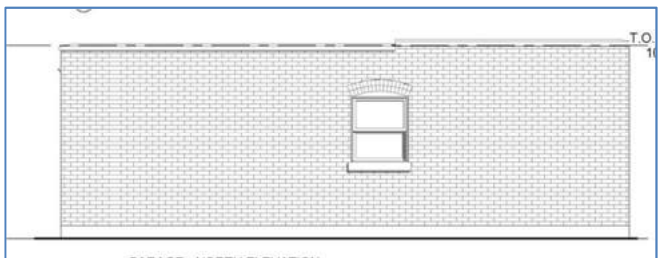
REAR (NORTH) ELEVATION



GARAGE MODEL EXAMPLE



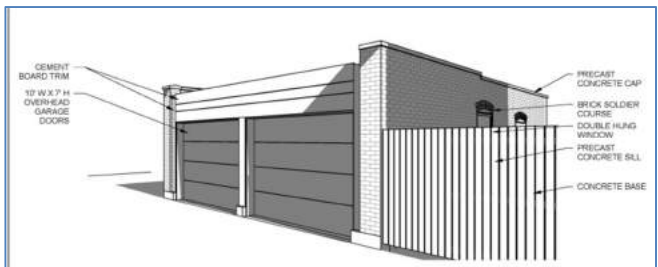
SALENA STREET ELEVATION



CONGRESS STREET ELEVATION



SOUTH ELEVATION (FACING HOUSE)





F.

DATE: March 27, 2017
ADDRESSES: 2217-2221 South 10th Street
ITEM: Construct single story addition at a Semi-Public facade
JURISDICTION: Souldard Local Historic District; Souldard National Register Historic District — Ward 7
STAFF: Bob Bettis, Cultural Resources Office



2217-2221 SOUTH 10TH STREET

OWNER/APPLICANT:

Rita Backstrom

ARCHITECT:

Cliff Doucet

RECOMMENDATION:

That the Preservation Board grant preliminary approval for the new construction, with the stipulation that final drawings, materials and colors be reviewed and approved by the Cultural Resources Office.



THE PROJECT:

The project proposes construction of a single story frame addition with a brick veneer to the south of the existing historic house. The addition will attach at the rear of the building and will not impact the any street visible historic material.

RELEVANT LEGISLATION:

ARTICLE 1: INTRODUCTION

101 Definitions

101.14 Model Example

Comment: Throughout these Standards, a Model Example is often required as a basis for comparison and as a source of ideas for reconstructed elements and for new construction.

A building or element(s) of a single building type or style constructed prior to 1929 and:

Existing or once existing within:

the Soulard Historic District; or

The City of St. Louis, provided it is of a form and architectural style currently or once found within the Soulard Historic District; and

Offered to prove that:

A design proposed for constructing or reconstructing a building will result in a building element compatible with the building for which it is to be constructed; or

A design proposed for constructing a new building will result in a building compatible with its architectural environment; and

Of a comparable form, architectural style and use as:

The building to receive the constructed or reconstructed element; or

The building to be constructed.

101.17 Public, Semi-Public, and Private Facades

Comment: The definition of Facades is the same for existing buildings and new construction.

Semi-Public Facades

The following architectural elevation(s) of a building:

Side elevations which face a vacant lot or a side yard at least 15 feet wide and are visually dominant from a street.

Rear elevation of a corner building which is visually dominant from a street.

The facade of a carriage or alley house which faces the alley.

209 NEW ADDITIONS TO EXISTING BUILDINGS

No new additions shall be made to the Public or Semi-Public Facade(s) except that additions may be made to Semi-Public Facades occurring at the rear of buildings that predate 1929.

New additions constructed at Private Facades or at Semi-Public Facades at the rear of structures predating 1929 are subject to New Construction Standards for like facades. *Comment: New additions constructed at Private Facades may lengthen an adjacent Public or Semi-Public Facade.*

ARTICLE 3: NEW BUILDINGS

301 Public and Semi-Public Facades of New Construction

The Public and Semi-Public Facades of new construction shall be reviewed based on a Model Example taking into consideration the following:

The applicant selected as a Model Example 927 Ann Avenue, which has an appropriate height, scale and exterior material.

301.1 Site

A site plan shall describe the following:

Alignment

New buildings shall have their Public Facade parallel to the Public Facade of the adjacent buildings.

If a new building is to be located between two existing buildings with different alignments to the street or in the event that there are no adjacent buildings, the building alignment shall be the same as that which is more dominant within that block on the same side of the street.

If a new building is to be located on a block which is completely empty, then the alignment shall be that which is most dominant within the adjacent blocks or across the street.

Setback

New buildings shall have the same setback as adjacent buildings.

If a new building is to be located between two existing buildings with different setbacks to the street, or in the event that there are no adjacent buildings, then the building setback shall be the same as that which is more dominant within that block on the same side of the street.

If a new building is to be located on a block which is completely empty, then the setback which is most dominant within adjacent blocks or across the street shall be used.

Setback may be based on a Model Example.

Complies with Alignment and Setback. The new building will fit within the irregular setback pattern along South 10th Street.

301.2 Mass

Mass is the visual displacement of space based on the building's height, width and depth.

The mass of a new building shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.

The massing of the new building will be similar to that of the original frame building that was on the lot historically.

301.3 Scale

Scale is the perceived size of a building relative to adjacent structures and the perceived size of an element of a building relative to other architectural elements (e. g., the size of a door relative to a window).

A new building shall appear to be the same number of stories as other buildings within the block. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings.

If a new building is to be located between two existing buildings with different scales, or in the event that there are no adjacent buildings, then the building scale shall be that which is more dominant within that block on the same side of the street.

If the new building is on a block which is completely empty, then the building scale shall be similar to that of buildings in adjacent blocks.

Comment: Building height, shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building; to the crown molding on a building with a mansard; to the roof ridge on a building with a sloping roof.

When several buildings, or a long building containing several units, are constructed on a sloping street, the building(s) shall step down the slope in order to maintain the prescribed height. The step shall occur at a natural break between units or firewalls.

The new building will have an appropriate scale to the original historic building on the lot. The new addition will be subservient to the two-story building.

301.4 Proportion

Proportion is a system of mathematical ratios which establish a consistent set of visual relationships between the parts of a building and to the building as a whole. The proportions of a new building shall be comparable to those of adjacent buildings. If there are no buildings on the block then the proportions shall be comparable to those of adjacent blocks.

Complies.

301.5 Ratio of Solid to Void

The ratio of solid to void is the percentage of opening to solid wall. Openings include doors, windows and enclosed porches and vestibules.

The total area of windows and doors in the Public Facade of a new building shall be no less than 25% and no more than 33% of the total area of the facade.

The height of a window in the Public Facade shall be between twice and three times the width.

The ratio of solid to void may be based on a Model Example.

Complies.

301.6 Facade Material and Material Color

Finish materials shall be one of the following:

For walls:

Kiln-fired brick (2-1/3" by 8" by 3-5/8")

Comment: Brick within the Soulard Historic District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove. Most brick within the Soulard Historic District is red or orange with only minor variations in coloration.

Stone common to the Soulard Historic District.

Scored stucco and sandstone.

4" lap wood siding or vinyl siding which appears as 4" wood siding based on a Model Example.

For foundations:

Stone, new or reused, which matches that used in the Soulard Historic District;

Cast-in-place concrete with a stone veneer; or

Cast-in-place concrete, painted.

Finished facade materials shall be their natural color or the color of the natural material which they replicate or if sandstone, painted. Limestone may be painted.

Glazing shall be clear, uncolored glass or based on a Model Example.

Complies. The front facade will be red brick.

302 Private Facade of New Construction

Materials at private Facades of new construction shall be one of those listed in 301.6(1)(1) except that wood or vinyl siding need not be based on a Model Example.

Cement lap siding is proposed for these elevations.

303 Garages and Carports in New Construction

Not applicable.

ARTICLE 4: SITE

Not yet determined.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resource Office's consideration of the criteria for demolition led to these preliminary findings:

- The proposed new construction is a single story addition that will be situated on a semi-public façade but will be attached at the rear of the historic building. The building responds to the intent of the New Construction section of the Soulard Historic District Standards, while not meeting every standard.
- The building has an appropriate scale and detail.
- The street façade materials will brick, and meet the standards for façade materials. The lap siding proposed for the majority of the west elevation and the rear does not meet the standards.
- A review of the Soulard Historic District New Construction Standards indicates that the proposed new addition generally meets the requirements for new construction.
- The frame building to be demolished has been heavily altered. Although in its original location, only the foundation and the south wall are original. The rest of the building has been rebuilt over the past few decades and the structure is not considered to be an important historic resource.

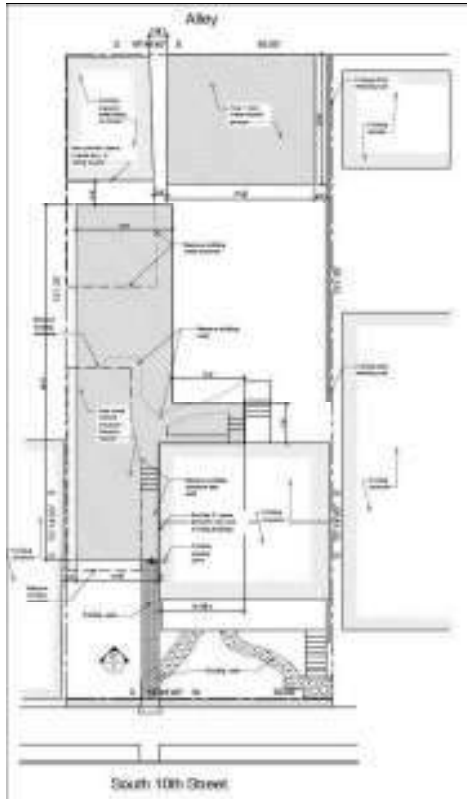
Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval for the new construction, with the stipulation that final drawings, materials and colors be reviewed and approved by the Cultural Resources Office.



PROPOSED NEW CONSTRUCTION



MODEL EXAMPLE 927 ANN AVENUE



PROPOSED SITE PLAN



SITE LOOKING SWEST



SITE LOOKING NORTHWEST

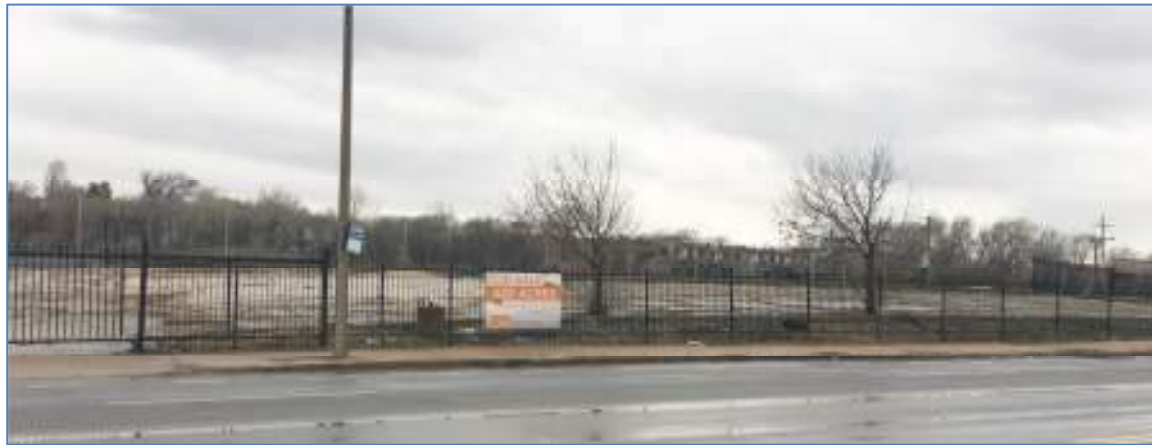


1909 SANBORN MAP



G.

DATE: March 27, 2017
ADDRESS: 1116 Missouri Avenue
ITEM: Preliminary Review: New construction, townhouse development
JURISDICTION: Lafayette Square Local Historic District — Ward 6
STAFF: Jan Cameron, Cultural Resources Office

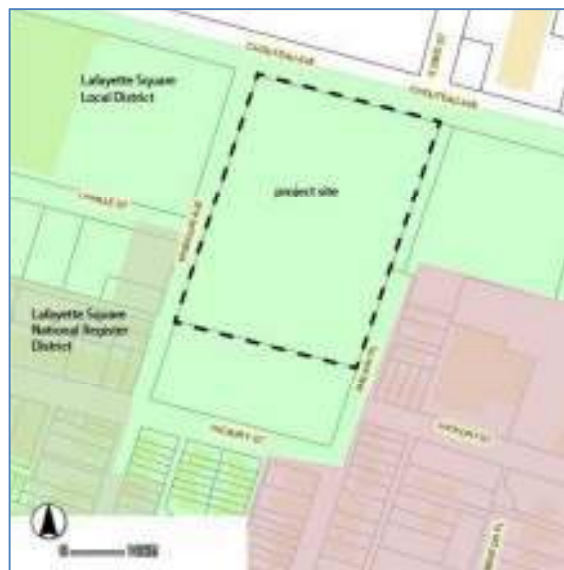


PROJECT SITE FROM CHOUTEAU AVENUE

OWNER:
 Pulte Group
 Matt Segal,

ARCHITECT:
 Killeen Studios
 Mike Killeen

RECOMMENDATION:
 That the Preservation Board grant preliminary approval to the revised submission with the conditions that rear elevations of buildings within two parcels of public streets be brick; sidewalks be placed on both the north and south sides of the re-opened LaSalle Street; and subject to final review of plans and exterior materials by the Cultural Resources Office staff.



THE PROPOSAL:

The project proposes to construct 64 two-and-one-half-story attached townhouses on a 4 acre vacant site in the Lafayette Square Local and National Register Historic District.

RELEVANT LEGISLATION:

Excerpt from Lafayette Square Historic District Ordinance #69112:

ARTICLE 3: NEW CONSTRUCTION AND ADDITIONS TO HISTORIC BUILDINGS

303 NEW RESIDENTIAL CONSTRUCTION BASED ON AN HISTORIC MODEL XAMPLE

303.1 Historic Model Example

In order to be consistent with the historic character of the district, each new residential building shall be based on an Historic Model Example (HME). This is understood to be one specific historic building and the design for a new building cannot draw upon elements from several buildings. The HME selected should be located in close proximity to the site of the new construction and represent a common property type. The property owner shall obtain concurrence from the Cultural Resources Office that the HME is appropriate for the site.

The applicant has submitted two HMEs for the project: a 2-story brick detached single-family house for the body of the building, and a mansard roof from a different house for the roof design. The Cultural Resources Office has accepted both examples as appropriate HMEs.

303.2 Site Planning

A] Alignment and Setback

- 1) New construction and additions shall have primary façades parallel to such façades of adjacent buildings and have the same setback from the street curb.
Partly complies. Units on the periphery of the project site will be consistent with the facades of adjacent properties.
- 2) In the event that new construction or addition is to be located between two existing buildings with different alignments to the street or with different setbacks, or in the event that there are no adjacent buildings, then the building alignment and setback that is more prevalent within the block front, or an adjacent block front, shall be used.
N/A.
- 3) New residential buildings in an area with no existing historic buildings shall have a common alignment based on the historic pattern of that block front or an adjacent block front.
Partly complies. Units that face Missouri Avenue and Mackay Place will comply with this requirement; the northernmost units will front on Chouteau. The development also restores the street grid by reopening LaSalle Street as a public thoroughfare. However, units in the interior of the site will be arranged around wide alleys that do not replicate the existing conditions elsewhere in the district.
- 4) The existing grades of a site may not be altered beyond minor grading to affect water runoff.
N/A.

- 5) The setback requirements are not intended to disallow construction of alley or carriage house type new construction.
N/A.
- 6) Ancillary buildings shall be placed to be the least visible from public streets.
N/A.
- 7) There shall be a sidewalk along all public streets. The sidewalk shall align with adjacent sidewalks in terms of distance from the curb. New and refurbished public sidewalks must be a minimum of 4 feet wide where possible and have a cross slope that provides an accessible route.
Partly complies. Units on the site's periphery will conform to this requirement but currently sidewalks are proposed for the north side of LaSalle Street only.
- 8) No new curb cuts for vehicles shall be allowed. Abandoned curb cuts will not be reutilized. Curb cuts for pedestrians at street intersections, mid-block crossings, passenger drop-off and loading zones, and similar locations shall be allowed.
A new curb cut will be created off Missouri Avenue to access a new east-west alley servicing the units that front on Chouteau. Existing curb cuts along the Missouri frontage will be closed.

B] Multiple unit new construction

- 1) No more than four attached townhouse units based on an HME may be constructed without a 36-inch-wide walk to the rear between the unit groups, unless the proposed development is based on an HME without such a walkway.
Does not completely comply: one building, facing Chouteau Avenue, will have five units.
- 2) Every unit shall have a primary façade facing an existing street.
Does not comply. 24 units in the interior of the development will face a private court or park.
- 3) When several buildings, or a long building containing several units, are constructed on a sloping street; the building(s) shall step down the slope in order to maintain the height of the HME. The step in height shall occur at a natural break between units or firewalls.
The site slopes gradually to the north. When the grade is sufficient, the buildings will step down appropriately to maintain a uniform height above grade.

303.3 Massing and Scale

- A] The massing of new construction shall be based on that of the HME selected to be comparable to that of the adjacent buildings or to the common overall building mass within the block front. This massing is typically relatively tall, narrow, and deep.
Does not comply. The HME presented is a detached single-family house. The proposed development consists of three- and four-unit attached townhouses. No HME for these building types is extant in the Square.

B] The HME and new building shall have a foundation raised above grade as a means to maintain compatibility in overall height with adjacent historic buildings.

Complies. The foundation will be raised to reflect the height of that of the HME.

C] The HME and new building shall appear to be the same number of stories as other buildings within the block front. Interior floor levels of new construction shall appear to be at levels similar to those of adjacent buildings.

Complies.

D] The height of the HME and new construction shall be within two feet above or below that the average height within the block. Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building, to the façade cornice on a Mansard roofed building, or to the roof eave on a building with a sloping roof.

The height of the units will replicate that of the HME.

E] The floor-to-ceiling height of the first floor of HME and new construction shall be a minimum ten feet, and the second floor floor-to-ceiling height shall be a minimum of nine feet.

The design complies with these requirements.

303.4 Proportions and Solid to Void Ratio

A] The proportions of the HME and new construction shall be comparable to those of the HME and adjacent buildings. The proportional heights and widths of windows and doors must match those of the HME, which should be 1:2 or 1:3, the height being at least twice the width, on the primary façades.

B] The total area of windows and doors in the primary facade of new construction shall be within 10 percent of that of the HME.

C] The proportions of smaller elements, including cornices and their constituent components, of the HME will be replicated in the new construction.

Complies with all requirements.

303.5 Exterior Materials and Color

A] Exposed foundations must be scored or cast to simulate load-bearing masonry mortar joints, or be faced with stone laid in a load-bearing pattern.

The front foundation will be simulated limestone with mortar joints.

B] As in the HME, there shall be a differentiation in all façades near the level of the first floor that defines the foundation as a base. The wall materials and /or the detailing at the base shall be distinct from that of the rest of that façade.

Complies.

C] The exterior wall materials of HMEs are a combination of stone and brick or all brick. Typically the primary façade material is different from the single material used for the side and rear walls.

Partly complies. The front and side elevations of each building will be brick. Rear elevations are proposed to be a cementitious lap siding, painted a brick color. Staff

recommends that rear elevations of buildings that are prominently visible from public streets also be brick.

D] The materials of the primary façade of new construction shall replicate the stone or brick of the HME.

1) A stone façade shall use the stone of the HME. It shall have smoothly dressed stone cut into blocks with the same proportion as that of the HME, be laid with the same pattern, and have the same dimension of mortar joints. The stone façade shall have the same depth of return on the secondary façades as the HME.

N/A.

2) The use of scored stucco and cementitious materials to replicate the stone of the façade of the HME is permitted. As for stone façades, the return at the secondary façades shall replicate that of the HME.

(a) Brick shall replicate that of the HME as a pressed face brick with a smooth finish and a dark red color with only minor variations in color. Brick shall have these dimensions, 2 2/3" x 8" x 4", or be based on an HME. No brick façade will display re-used brick of varying colors and shades.

(b) Brick will be laid as in the HME, generally in a running bond, and its mortar joints will replicate, by type of façade, that of the HME in color, or be dark red or gray.

No brick samples have yet been submitted; however, the intent is to comply with these requirements.

(c) Ornamental brick, stone or replica stone lintels, cornices, sills and decorative bands or panels shall be based on the HME. Window sills on brick primary façades shall be stone or pre-cast replica stone, based on the HME.

Window heads and sills will replicate those of the HME.

E] The HME shall determine the choice of the material used on the secondary and rear façades of a new residential building. Typically, common brick side and rear walls were combined with a face brick or stone street façade. Materials permitted for use on secondary and rear façades, therefore, shall be brick of suitable color, texture, and bond, and be pointed with mortar appropriate in color, texture and joint profile.

Partly complies. Front and sides will be brick. The rear façade of the HME is brick.

F] Siding of vinyl, aluminum, fiber cement, or wood of any type, style, or color is prohibited on any façade because of the requirement for an HME for new residential construction.

Cementitious siding, to be painted a brick color, is proposed for the rear elevations.

G] The materials identified above may be combined with modern construction techniques in the following ways:

1) The appearance of stone on a raised foundation may be created using stone veneer, parging with joint lines to replicate a load-bearing masonry pattern, or poured concrete that has the pattern of load-bearing masonry.

2) Brick, stone, and stucco scored to appear as stone may be installed as a veneer on exterior walls.

The proposed house will be wood-framed with brick installed as a veneer.

303.6 Windows

- A] Windows in the HME and their sash will be the model for windows in new residential construction. The size and location of window openings in the HME will be replicated on the primary façade.

Windows of the front and south elevations will match those of the HME.

- B] The profiles of the window framing elements – i.e. frames, sills, heads, jambs, and brick molds – will match the dimensions and positions of those in the HME.
- C] Window Sash
- 1) Window sash shall match that of the HME in terms of operation, configuration (number of lights), and dimensions of all elements. The method of a window's operation may be modified on the interior in a way that does not change the exterior appearance and provides for accessibility.
- D] Materials
- 1) Wood windows manufactured to match the characteristics of the HME are preferred on the primary façade. Any window sash that must be replaced in non-historic residential buildings constructed under these standards, or previous ones, shall meet these standards.
 - 2) Factory-painted, metal clad wood and composite or fiberglass windows are acceptable for the primary façade if they meet the above requirements and are acceptable for secondary and rear façades.
 - 3) Vinyl sash is prohibited.
 - 4) All glazing will be non-reflective glass.
 - 5) Windows may have double-glazed, low-solar-gain, Low-E glazing sash; tinted Low-E glazing is not permitted.
The windows to be used on the front façade will have semi-circular arched heads, following the HME. The windows will be approved by the CRO as to materials, dimensions and profiles similar to those of the HME, and have the correct brick mold.
- F] Windows in secondary and rear façades that do not face the street should have the proportions and size based on the HME. The operation of the window sash and material is not regulated, other than not being vinyl.
Some variance from a strict replication of side fenestration of the HME has been accepted on most of the approved infill buildings in the Square. This design proposes double-hung windows of appropriate size and proportion arranged generally in vertical bays.
- G] Bathroom windows in private secondary and rear façades may have frosted glass. Historical examples include glue chip and machine textured glass.

- H] Storm Windows and screens, as on historic buildings, are allowed on the interior of primary public façade windows and on the exterior and interior of other façade windows. Other stipulations in Sections 203.1(D) and 203.2(D) apply here as well.

The windows will comply with material standards.

303.7 Doors

- A] Doors on the primary and secondary street façades must be based on the HME and meet these requirements:
- 1) Be a minimum of 7 feet in height.
 - 2) If the front entry door of the HME is set back from the façade, new construction must replicate this condition and replicate any panel reveals of the HME.
 - 3) All entry doors on street façades must have a transom, transom bar and transom sash, based on the HME.
 - 4) Slight modifications to the entrance design of the HME may be acceptable to provide 32-inch-wide openings, flush thresholds, and the use of swing clear hinges.

Complies. The recessed entry follows the HME.

- B] Clear and non-reflective glazing shall be used in street façade doors and transom sash.
Complies.
- C] Accessibility to residential buildings is encouraged and can be obtained through the selection of an HME, entrance design, the placement of actual floor levels, and other design choices.
Not applicable.

303.8 Cornices

- A] The design of a primary façade cornice and all its elements shall be based on the HME. In the event that the measurements of the HME are not readily attainable, the following will be used:
- 1) Crown molding, if used must be a minimum of five and one quarter inches (5 ¼") in height.
 - 2) Dentil molding, if used must be a minimum of four inches (4") in height.
 - 3) Decorative panels or other moldings may be used between brackets or corbels only to replicate the selected HME.
- B] The space between brackets or corbels, and their height and proportions, shall replicate that of the HME.

The cornice of the HME will be replicated in scale and design and profile, including a return side elevations.

303.9 Roofs

- A] The form of the roof must replicate the HME.
Does not comply. The buildings will have gambrel roofs in place of the mansard roof of the HME, in order to allow a full third story. The slope of the gambrel has been adjusted and brick parapet walls designed to screen the upper portion to appear as a mansard. Dormers following those of the HME will be created at each unit.

- B] Visible roof planes shall be uninterrupted with openings such as individual skylights, vents, pipes, mechanical units, solar panels, etc.
- C] Roofing Materials
- 1) Visible roofing material shall be limited to the following:
 - (a) Slate,
 - (b) Synthetic slate where slate is used on the HME,
 - (c) Asphalt or fiberglass shingles, standard three tab design of 23 pounds per square minimum construction,
 - (d) Standing seam, copper or refinished sheet metal roofing only as gutters and ridges; all metal roofs are not allowed,
 - (e) Plate or structural glass on an appendage.
 - 2) Visible roofing material not permitted includes the following:
 - (a) Wood shingles, or composition shingles resembling wood shingles or shakes
 - (b) Roll roofing or roofing felts
 - (c) Metal roofing
 - (d) Vinyl or other polymeric roofing
- D] Gutters and Downspouts
- 1) Gutters on the primary public façade must be incorporated into a cornice design based on an HME to the extent that the gutter is not visible as a separate element. No gutters can be placed across the primary public façade as individual elements. Gutters and downspouts shall be of one of the following materials:
 - (a) Copper; painted or allowed to oxidize.
 - (b) Galvanized metal, painted.
 - (c) Aluminum; finished as a non-reflective factory-finish

Complies with all requirements.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for new residential construction in the Lafayette Square Historic District Standards led to these preliminary findings:

- The proposed site for construction, 1116 Missouri Avenue, is located at the northern edge of the Lafayette Square Local Historic District.
- The site is a large, vacant 4-acre parcel that previously had an industrial use. The site fronts on Chouteau Avenue to the north; Missouri Avenue to the east; a vacant, wooded parcel on the south; and Mackay Place on the west.
- The applicants have proposed a Historic Model Example for the new buildings and another for the roofs; both have been accepted as appropriate HMEs by the Cultural Resources Office.
- The design complies with most of the requirements for new construction in the Lafayette Square Historic District, with the exception of:
 - Units on the interior of the site do not conform to requirements of Site Planning;

- The HME submitted is a detached single-family; buildings proposed are three- and four-unit townhouses;
- The roof shape does not follow the HME; however, the design has been modified to disguise the non-conforming shape;
- The rear elevations will be sided; the HME has four sides of brick.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the proposed design, with the stipulations that:

- Rear elevations of units that are prominently visible from a public street (i.e. corner units) shall be brick.
- Both north and south sides of the re-opened LaSalle Street shall have sidewalks.
- Final plans and exterior materials shall be reviewed and approved by the Cultural Resources Office.



REVISED SITE PLAN



HMEs SUBMITTED



TYPICAL FRONT ELEVATION



TYPICAL REAR ELEVATION WITH BASEMENT GARAGE



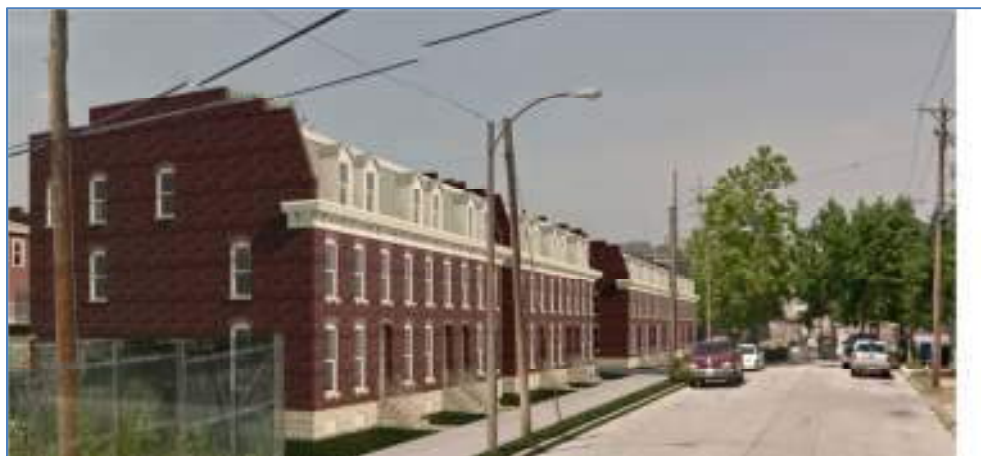
STREET PERSPECTIVE



HEIGHT COMPARISONS



PROPOSED MISSOURI AVENUE STREETScape



MACKAY STREETScape



H.

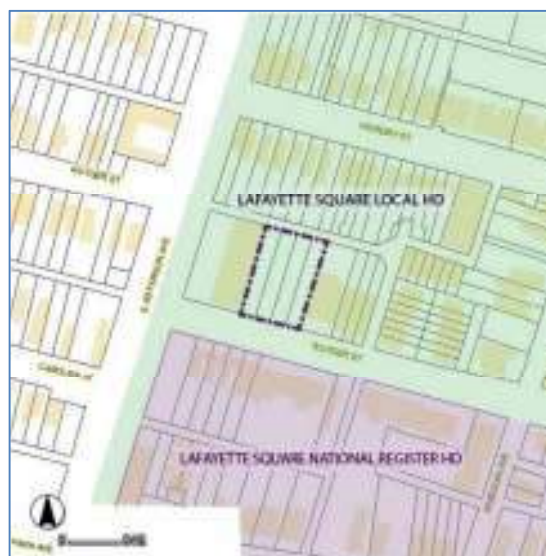
DATE: March 27, 2017
ADDRESS: 2339-45 Rutger
ITEM: Preliminary Review: New construction, two buildings, two attached units each
JURISDICTION: Lafayette Square Certified Local Historic District — Ward 6
STAFF: Dan Krasnoff, Cultural Resources Office



2339-45 RUTGER

DEVELOPER:
Leonard Adewunmi/Design and
Restoration

RECOMMENDATION:
That the Preservation Board grant
preliminary approval to the proposed
designs with the stipulation that exterior
materials and final plans be approved by
the Cultural Resources Office.



THE PROJECT

The project is located within the Lafayette Square local historic district. The applicant proposes to construct two buildings, each of which contains two townhouses. The applicant was granted an option on four parcels by the Land Reutilization Authority (LRA) in March, 2016.

RELEVANT LEGISLATION:

Excerpt from Lafayette Square Historic District Ordinance #69112:

100 Preface...

There are two basic concepts inherent in this Historic Code. They are embodied in the definitions of Public and Private Façades, and Historic Model Example. By establishing a definition for two types of building façades, there is also established the idea that certain portions of a building are more critical to the neighborhood's character than others. Based on this premise, these Standards regulate more stringently the "Public" elements of the district and is less concerned with the relatively private elements.....

101 Definitions...

101.12 Façade (See figure 2)

A building façade is an outer wall of a structure. Façades are distinguished by their architectural presence as primary, secondary, and rear.

Primary façades establish the architectural character of the building and are streetfacing and therefore public façades as well.

Secondary façades have less architectural character than primary façades and are typically side walls of a building. Secondary façades that face the street are also public façades; those that do not were intended to be private façades. However, secondary façades that are now more than 4 feet from an adjacent building are visible from public areas and are consequently considered to be public façades.

Rear façades often have a more utilitarian appearance and role, and generally are not meant to be seen from a street. They are private façades.

A) Primary Public Façade

A primary façade that directly faces a public street.

B) Private Façade

As this ordinance distinguishes between public and private areas of properties, private façades are those that are not visible from the street. These include rear, alley-facing façades and side façades separated by a maximum of 4 feet from adjacent buildings.

C) Secondary Public Façade

A side exterior wall that faces directly onto a street. Secondary public façades include those sections of the walls that are recessed. Secondary façades that are more than 4 feet from an adjacent building are visible from public areas and are therefore considered to be public façades.

D] Secondary Private Façade

A side exterior wall that does not directly face a street and is separated by no more than 4 feet from an adjacent building.

The front facades are Public Façades. All of the other facades are Private Facades.

ARTICLE 3: NEW CONSTRUCTION AND ADDITIONS TO HISTORIC BUILDINGS

303 NEW RESIDENTIAL CONSTRUCTION BASED ON AN HISTORIC MODEL EXAMPLE

303.1 Historic Model Example

In order to be consistent with the historic character of the district, each new residential building shall be based on a Historic Model Example (HME). This is understood to be one specific historic building and the design for a new building cannot draw upon elements from several buildings. The HME selected should be located in close proximity to the site of the new construction and represent a common property type. The property owner shall obtain concurrence from the Cultural Resources Office that the HME is appropriate for the site.

The applicants have proposed 2000-02 Rutger Street as an HME for the townhouses. The Cultural Resources Office has approved it as an HME. The front façade is a good replication of the HME. All other facades are private.

303.2 Site Planning

A] Alignment and Setback

- 1) New construction and additions shall have primary façades parallel to such façades of adjacent buildings and have the same setback from the street curb.
- 2) In the event that new construction or addition is to be located between two existing buildings with different alignments to the street or with different setbacks, or in the event that there are no adjacent buildings, then the building alignment and setback that is more prevalent within the block front, or an adjacent block front, shall be used.
- 3) New residential buildings in an area with no existing historic buildings shall have a common alignment based on the historic pattern of that block front or an adjacent block front.
- 4) The existing grades of a site may not be altered beyond minor grading to affect water runoff.
- 5) The setback requirements are not intended to disallow construction of alley or carriage house type new construction.
- 6) Ancillary buildings shall be placed to be the least visible from public streets.
- 7) There shall be a sidewalk along all public streets. The sidewalk shall align with adjacent sidewalks in terms of distance from the curb. New and refurbished public sidewalks must be a minimum of 4 feet wide where possible and have a cross slope that provides an accessible route.
- 8) No new curb cuts for vehicles shall be allowed. Abandoned curb cuts will not be reutilized. Curb cuts for pedestrians at street intersections, mid-block crossings, passenger drop-off and loading zones, and similar locations shall be allowed.

Complies.

303.3 Massing and Scale

- A) The massing of new construction shall be based on that of the HME selected to be comparable to that of the adjacent buildings or to the common overall building mass within the block front. This massing is typically relatively tall, narrow, and deep.

Complies.

- B) The HME and new building shall have a foundation raised above grade as a means to maintain compatibility in overall height with adjacent historic buildings.

Complies.

- C) The HME and new building shall appear to be the same number of stories as other buildings within the block front. Interior floor levels of new construction shall appear to be at levels similar to those of adjacent buildings.

Complies. The building corresponds to the heights of residential buildings on the street to the east of the site.

- D) The height of the HME and new construction shall be within two feet above or below that the average height within the block. Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building, to the façade cornice on a Mansard roofed building, or to the roof eave on a building with a sloping roof.

Complies. It is one story taller than the single-story commercial building to the west of the site.

- E) The floor-to-ceiling height of the first floor of HME and new construction shall be a minimum ten feet, and the second floor floor-to-ceiling height shall be a minimum of nine feet.

Complies.

303.4 Proportions and Solid to Void Ratio

- A) The proportions of the HME and new construction shall be comparable to those of the HME and adjacent buildings. The proportional heights and widths of windows and doors must match those of the HME, which should be 1:2 or 1:3, the height being at least twice the width, on the primary façades.

- B) The total area of windows and doors in the primary facade of new construction shall be within 10 percent of that of the HME.

- C) The proportions of smaller elements, including cornices and their constituent components, of the HME will be replicated in the new construction.

Complies.

303.5 Exterior Materials and Color

- A) Exposed foundations must be scored or cast to simulate load-bearing masonry mortar joints, or be faced with stone laid in a load-bearing pattern.

Details to be verified in final drawings.

- B) As in the HME, there shall be a differentiation in all façades near the level of the first floor that defines the foundation as a base. The wall materials and /or the detailing at the base shall be distinct from that of the rest of that façade.

Complies.

- C) The exterior wall materials of HMEs are a combination of stone and brick or all brick. Typically the primary façade material is different from the single material used for the side and rear walls.

All exterior walls of the proposed house will be brick above the concrete foundation.

- D) The materials of the primary façade of new construction shall replicate the stone or brick of the HME.

- 1) A stone façade shall use the stone of the HME. It shall have smoothly dressed stone cut into blocks with the same proportion as that of the HME, be laid with the same pattern, and have the same dimension of mortar joints. The stone façade shall have the same depth of return on the secondary façades as the HME.

N/A.

- 2) The use of scored stucco and cementitious materials to replicate the stone of the façade of the HME is permitted. As for stone façades, the return at the secondary façades shall replicate that of the HME.

- (a) Brick shall replicate that of the HME as a pressed face brick with a smooth finish and a dark red color with only minor variations in color. Brick shall have these dimensions, 2 2/3" x 8" x 4", or be based on an HME. No brick façade will display re-used brick of varying colors and shades.

- (b) Brick will be laid as in the HME, generally in a running bond, and its mortar joints will replicate, by type of façade, that of the HME in color, or be dark red or gray.

- (c) Ornamental brick, stone or replica stone lintels, cornices, sills and decorative bands or panels shall be based on the HME. Window sills on brick primary façades shall be stone or pre-cast replica stone, based on the HME.

Drawings show brick on all four sides, details to be verified in final drawings.

- E) The HME shall determine the choice of the material used on the secondary and rear façades of a new residential building. Typically, common brick side and rear walls were combined with a face brick or stone street façade. Materials permitted for use on secondary and rear façades, therefore, shall be brick of suitable color, texture, and bond, and be pointed with mortar appropriate in color, texture and joint profile.

Complies. Drawings show four sides of brick.

- F) Siding of vinyl, aluminum, fiber cement, or wood of any type, style, or color is prohibited on any façade because of the requirement for an HME for new residential construction.

The drawings indicate a sided privacy on wall on the rear, private façades, which will not be street-visible.

- G) The materials identified above may be combined with modern construction techniques in the following ways:

- 1) The appearance of stone on a raised foundation may be created using stone veneer, parging with joint lines to replicate a load-bearing masonry pattern, or poured concrete that has the pattern of load-bearing masonry.
- 2) Brick, stone, and stucco scored to appear as stone may be installed as a veneer on exterior walls.

Complies.

303.6 Windows

- A) Windows in the HME and their sash will be the model for windows in new residential construction. The size and location of window openings in the HME will be replicated on the primary façade.
- B) The profiles of the window framing elements – i.e. frames, sills, heads, jambs, and brick molds – will match the dimensions and positions of those in the HME.

Complies: to be verified in final, detailed drawings.

C) Window Sash

- 1) Window sash shall match that of the HME in terms of operation, configuration (number of lights), and dimensions of all elements. The method of a window's operation may be modified on the interior in a way that does not change the exterior appearance and provides for accessibility.

D) Materials

- 1) Wood windows manufactured to match the characteristics of the HME are preferred on the primary façade. Any window sash that must be replaced in non-historic residential buildings constructed under these standards, or previous ones, shall meet these standards.
- 2) Factory-painted, metal clad wood and composite or fiberglass windows are acceptable for the primary façade if they meet the above requirements and are acceptable for secondary and rear façades.
- 3) Vinyl sash is prohibited.
- 4) All glazing will be non-reflective glass.
- 5) Windows may have double-glazed, low-solar-gain, Low-E glazing sash; tinted Low-E glazing is not permitted.

The windows to be used on the second story of the façade will have segmental arched heads and be one-over-one double-hung sash. First story windows will have semi-circular arches and one-over-one double-hung sash. Window details to be verified in final drawings.

- F) Windows in secondary and rear façades that do not face the street should have the proportions and size based on the HME. The operation of the window sash and material is not regulated, other than not being vinyl.
To be verified in final, detail drawings.
- G) Bathroom windows in private secondary and rear façades may have frosted glass. Historical examples include glue chip and machine textured glass.
- H) Storm Windows and screens, as on historic buildings, are allowed on the interior of primary public façade windows and on the exterior and interior of other façade windows. Other stipulations in Sections 203.1(D) and 203.2(D) apply here as well.

303.7 Doors

- A) Doors on the primary and secondary street façades must be based on the HME and meet these requirements:
- 1) Be a minimum of 7 feet in height.
 - 2) If the front entry door of the HME is set back from the façade, new construction must replicate this condition and replicate any panel reveals of the HME.
 - 3) All entry doors on street façades must have a transom, transom bar and transom sash, based on the HME.
 - 4) Slight modifications to the entrance design of the HME may be acceptable to provide 32-inch-wide openings, flush thresholds, and the use of swing clear hinges.
The applicant proposes to meet these standards through the use of a door that replicates that of the HME. The replication of paneled reveals in the entry, installation of a transom above the door, and use of clear glazing in the door to be verified in final, detailed drawings.
- B) Clear and non-reflective glazing shall be used in street façade doors and transom sash.
- C) Accessibility to residential buildings is encouraged and can be obtained through the selection of an HME, entrance design, the placement of actual floor levels, and other design choices.

303.8 Cornices

- A) The design of a primary façade cornice and all its elements shall be based on the HME. In the event that the measurements of the HME are not readily attainable, the following will be used:
- 1) Crown molding, if used must be a minimum of five and one quarter inches (5 ¼") in height.
 - 2) Dentil molding, if used must be a minimum of four inches (4") in height.
 - 3) Decorative panels or other moldings may be used between brackets or corbels only to replicate the selected HME.
- B) The space between brackets or corbels, and their height and proportions, shall replicate that of the HME.
The cornice of the HME would be replicated in scale and design.

303.9 Roofs

- A) The form of the roof must replicate the HME.
Does not comply. However, the lack of compliance will not significantly affect the streetscape.
- D) Gutters and Downspouts
- 1) Gutters on the primary public façade must be incorporated into a cornice design based on an HME to the extent that the gutter is not visible as a separate element. No gutters can be placed across the primary public façade as individual elements. Gutters and downspouts shall be of one of the following materials:
 - (a) Copper; painted or allowed to oxidize.
 - (b) Galvanized metal, painted.

- (c) Aluminum; finished as a non-reflective factory-finish
To be verified in final, detailed drawings

305 NEW GARAGES

305.1 Garages shall be set within 10 feet of the alley line.

305.2 Garages shall be directly behind the main structure on the site. If site conditions prohibit this placement, then the new structure shall be positioned as close to this arrangement as possible.

305.3 Vehicular access shall only be from the alley. As per Section 303.2(A)(8), no new curb cuts are allowed and no abandoned cuts will be re-used in conjunction with a new driveway.

305.4 Garage doors shall be parallel to, and face, the alley.

305.5 Garages shall have a footprint of no more than 576 square feet, equal to a 24 foot by 24 foot two-car garage. Any auxiliary building with a larger footprint shall be considered a carriage house and shall be regulated under Section 306.

305.6 Garages shall have one of these two roof forms:

- A) A gable roof placed with its ridge parallel to the alley and the ridge peak at twelve (12) feet or less.
- B) A nearly flat roof edged by a shallow parapet.

305.7 Construction materials:

- A) While there is no HME for a garage, this building type was traditionally built with a single exterior wall material: wood siding or brick. This traditional pattern will guide the selection of garage materials. The material selected shall be used on all four sides. The acceptable materials for new garages are:
 - 1) Brick of a dark red or brown untextured surface, laid with colored mortar;
 - 2) Wood, or cement fiber siding installed to simulate wood siding;
 - 3) Cement fiber panels.
- B) A garage that sides on a public street or side yard shall be brick.
- C) Vinyl siding is not allowed.

Garage plans must comply. To be verified in final drawings.

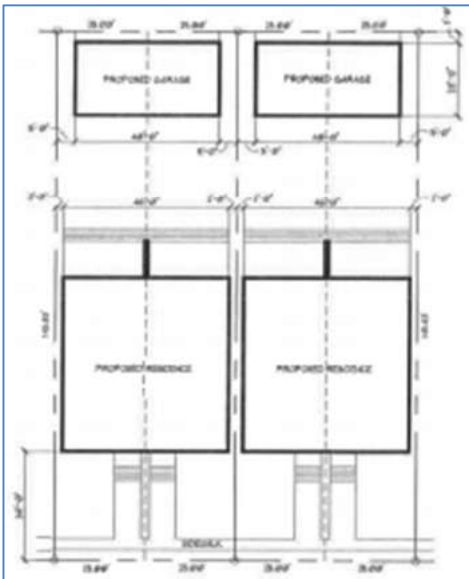
PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for new residential construction in the Lafayette Square Historic District Standards led to these preliminary findings:

- The proposed site for construction, 2339-45 Rutger, is located in the Lafayette Square Local Historic District.
- A substantial number of the buildings of the 20xx block of Rutger were constructed since the 1980's, and are not contributing buildings to the local historic district.

- The applicant has proposed a Historic Model Example for the new house, 2000-02 Rutger, which has been approved by the Cultural Resources Office.
- The applicant proposes to construct two buildings with a street-facing façades that replicate that of the HME
- The rest of the facades are Private Facades. More window openings should be placed upon the western-most façade.
- The roof does not match the model example, although that will not significantly impact the streetscape.
- The non-conformity of the roof will not significantly impact the streetscape.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval for the proposed new construction, with the condition that the design be developed as proposed and that design details will be reviewed and approved by the Cultural Resources Office to ensure compliance with the district standards.



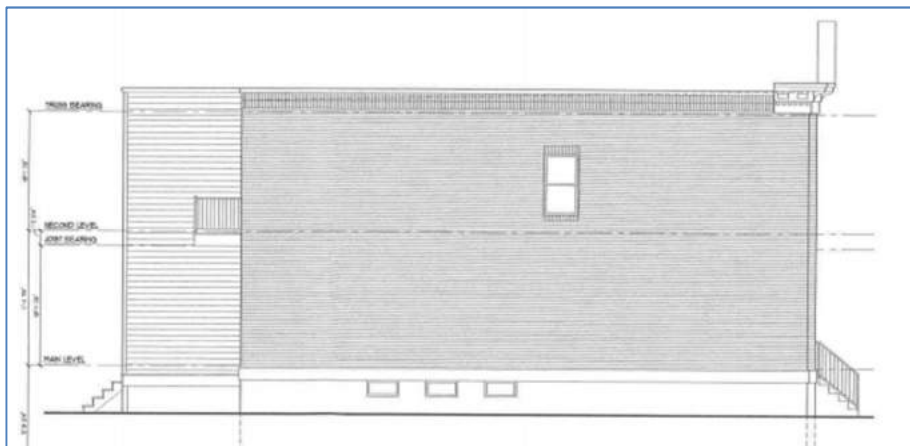
SITE PLAN



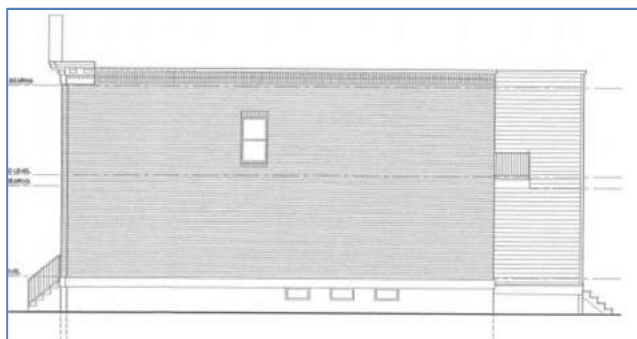
2000-02 RUTGER – MODEL EXAMPLE



FRONT ELEVATION



WEST ELEVATION



EAST FACADE



NORTH REAR FACADE



STREETSCAPE



I.

DATE: March 27, 2017
ADDRESS: 4545 Maryland Avenue
ITEM: Appeal of the Director's denial to replace a slate roof with architectural shingles
JURISDICTION: Central West End Local Historic District — Ward 28
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



4545 MARYLAND AVENUE

OWNER/APPLICANT:

Nancy Rice

RECOMMENDATION:

That the Preservation Board uphold the Director's denial, as the proposed and partly-installed roofing material does not comply with the Central West End Historic District Standards.



THE CURRENT WORK:

The appellant has applied for a building permit application to replace a slate roof with an architectural shingle roof at 4545 Maryland Avenue. A building inspector stopped the contractor when the work was nearly completed: no building permit had been obtained. Only the front slope of the roof is left to be completed. The application was denied as the Central; West End historic district standards require that original slate roofs shall be preserved. The owner has appealed the denial.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69423, Central West End Historic District:

B. Architectural Elements

7) Roofs

The visible form of the roof, as in its shape and pitch, and the presence or absence of dormers and other roof elements, shall not be altered. Materials used on historic pitched roofs and dormers in the historic district are slate, terra cotta mission tile, cooper and terne metal. Original or existing slate, tile and metal roofs shall be preserved through repair and maintenance. Original or historic roof material shall not be replaced with another type of historic material that would change the character of the roof: i.e., replacing historic ceramic tiles with slate shingles. Photographic evidence shall be provided of the deteriorated condition of roofing materials to justify replacement. Original or historic roofing material shall be used wherever the roof is visible. Materials that replicate the original may be used if the original or historic material is unavailable and the substitute material is approved by the Cultural Resources Office.

Does not comply. The owner has removed the original grey slate roofing and is proposing to replace it with an architectural shingle that does not replicate the color, dimension, depth or profile of the original material. The replacement of the slate with artificial material will adversely affect the historic character of the building. The owner proposed to leave the original slate on the sides of the dormers. This will create a strong contrast with the new shingles and result in a more noticeable aesthetic difference. In addition, the original copper ridging has been removed and is not planned for replacement.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Central West End Historic District standards and the specific criteria for landscaping on a visible facade led to these preliminary findings:

- 4545 Maryland Avenue is located in the Central West End Local Historic District.
- The roof project was started without a permit.
- The original slate and the copper ridge trim was in place prior to the project starting.
- The standards require that when an original roofing material is extant, it should be repaired or replaced to match the existing.

- The owner has left the original slate on the sides of the front dormer and on the side gables of the roof.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director’s denial of the application as it does not comply with the Central West End Local Historic District standards.



VIEW OF ROOF PRIOR TO REPLACEMENT FROM GOOGLE STREET VIEW JULY 2016



VIEW OF PARTIALLY INSTALLED ROOF